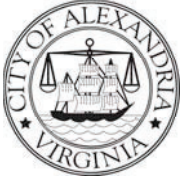


BZA Case # _____



APPLICATION BOARD OF ZONING APPEALS

SPECIAL EXCEPTION FOR ADDITIONS

Section of zoning ordinance from which request for special exception is made:

Side setback re-leaf, Existing house is non conforming on the side. New addition to be built following the Existing houses side exterior wall. The property is further hampered by having to Front Setback to contend with as well.

PART A

1. Applicant: ☒ Owner ☒ Contract Purchaser ☒ Agent

Name Ian Everett

Address [REDACTED]

Daytime Phone [REDACTED]

Email Address [REDACTED]

2. Property Location 2411 Ridge Road Dr., Alexandria, VA 22302

3. Assessment Map # 33.01 Block 02 Lot 18 Zone R8

4. Legal Property Owner Name Kristin & Dee Edwards

Address [REDACTED]

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Ian Everett		0%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 2411 Ridge Road Dr., Alexandria, VA 22302 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Kristin Edwards		100 %
2. Dee Edwards		100 %
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A	N/A	N/A
2. N/A	N/A	N/A
3. N/A	N/A	N/A

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

3.24.2026

Ian Everett

Date

Printed Name

Ian Everett

Signature

5. Describe request briefly:

To construct a 2 story addition approx. 9.1 Feet the proprieties side yard. Addition is planned to be built in line with the existing houses exterior wall at the side yard. The project meets the basic distance requirement but exceeds the height requirements. The 2/1 rule only allows for a 18' addition which is less than the Existing house and the planned rear addition (31'-3").

6. If the property owner or applicant is being represented by an authorized agent,

such as an attorney, realtor or other person for which there is a form of compensation, does this agent or the business in which they are employed have a business license to operate in the City of Alexandria, Virginia?

☐ Yes — Provide proof of current City business license.

☒ No — Said agent shall be required to obtain a business prior to filing application.

THE UNDERSIGNED HEREBY ATTESTS that all of the information herein provided including the site plan, building elevations, prospective drawings of the projects, etc., are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Ian Everett

Print Name

Telephone

Ian Everett

Signature

3.24.2026

Date

Pursuant to Section 13-3-2 of the City Code, the use of a document containing false information may constitute a Class 1 misdemeanor and may result in a punishment of a year in jail or \$2,500 or both. It may also constitute grounds to revoke the permit applied for with such information.

NOTE TO APPLICANT: Only one special exception per dwelling shall be approved under the provisions of Section 11-1302(B)(4).

PART B (SECTION 11-1304)

APPLICANT MUST EXPLAIN THE FOLLOWING:

(Please use additional pages where necessary.)

- 1. Explain how the special exception for the proposed addition, if granted, meets the applicant's needs.**

If granted the exception will allow the Edwards to build the addition to a size that will accommodate their family better than the current Cape Cod style house that is their now. It will be better to cook a Family meal in a Kitchen that isn't so cramped. Family events in proper sized family room will go off without a hitch. The new Owner Suite will allow the Kids to have their own bedrooms which will help them grow in life.

- 2. Explain if the special exception, if granted, will harm adjoining properties or impact the neighborhood in any way.**

The new addition was designed to mesh with the Neighborhoods over all ecstatic. It mimics several other additions found in the neighborhood. The addition will be a harmonious concept that will not harm any adjoining properties or impact the neighborhood.

- 3. Explain how the proposed addition will affect the light and air to any**

With the addition being designed to be smaller than the existing house it will have less affect on the Light and air. No new systems will be added that will affect the light and air.

4. Explain how the proposed addition is compatible with other properties in the neighborhood and the character of the neighborhood as a whole.

The addition will have the same exterior finishes that are already present on Houses in the neighborhood. Same white trim and painted white cement board siding present on several houses in the neighborhood.

5. How is the proposed construction similar to other buildings in the immediate area?

The Proposed Addition will be built with Wood and Block materials mirroring the other additions in the neighborhood. The new addition will be situated on the property the same as the other additions. Also the new addition was designed to be a similar style to all the other houses to ensure a harmonious addition to the the neighborhood.

6. Explain how this plan represents the only reasonable location on the lot to

With the current side setback requirements of 8' away from the side property line and a 2/1 height requirement and considering the subject property has 2 Front set backs the allowable addition would be dramatically under sized for their growing family's needs.

7. Has the applicant shown the plans to the most affected property owners? Have any neighbors objected to the proposed special exception, or have any neighbors written letters of support? If so, please attach the letter.

Yes the Owners have shown the plans to their neighbors. There has been NO dissenting opinion offered.



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations for

Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1. 2411 Ridge Road Dr
Street Address

R-8
Zone

A2. 9,399.00 x 0.35 = 3,289.65
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**		
Basement	1,280.00	Basement**	1,280.00	B1. 3,802.00 Sq. Ft.
First Floor	1,354.00	Stairways**		Existing Gross Floor Area*
Second Floor	727.00	Mechanical**		B2. 1,721.00 Sq. Ft.
Third Floor		Attic less than 7'***		Allowable Floor Exclusions**
Attic		Porches**		B3. 2,081.00 Sq. Ft.
Porches		Balcony/Deck**	240.00	Existing Floor Area Minus Exclusions
Balcony/Deck	240.00	Garage**	201.00	(subtract B2 from B1)
Garage	201.00	Other***		
Other***		Other***		
B1. Total Gross	3,802.00	B2. Total Exclusions	1,721.00	

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**		
Basement	0.00	Basement**	0.00	C1. 1,300.00 Sq. Ft.
First Floor	522.00	Stairways**		Proposed Gross Floor Area*
Second Floor	521.00	Mechanical**		C2. 257.00 Sq. Ft.
Third Floor		Attic less than 7'***		Allowable Floor Exclusions**
Attic		Porches**		C3. 1,043.00 Sq. Ft.
Porches		Balcony/Deck**	257.00	Proposed Floor Area Minus Exclusions
Balcony/Deck	257.00	Garage**		(subtract C2 from C1)
Garage		Other***		
Other***		Other***		
C1. Total Gross	1,300.00	C2. Total Exclusions	257.00	

D. Total Floor Area

D1. 3,124.00 Sq. Ft.
Total Floor Area (add B3 and C3)

D2. 3,289.65 Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Existing Open Space Sq. Ft.

E2. Required Open Space Sq. Ft.

E3. Proposed Open Space Sq. Ft.

Notes

*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

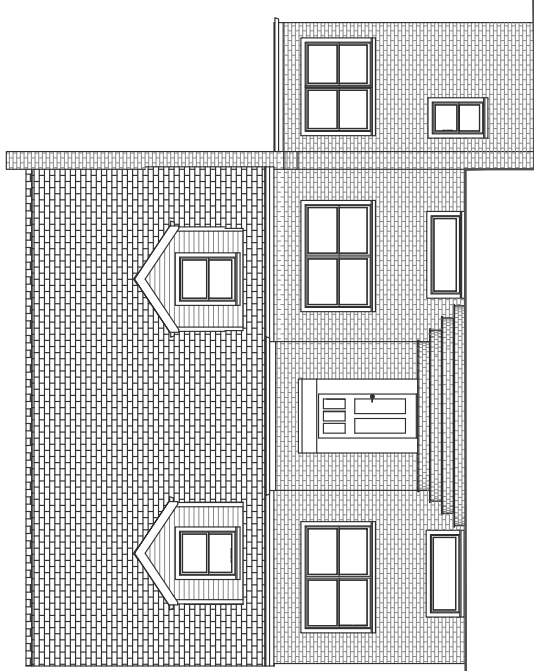
Signature: Ian Everett

Date: 3/24/2026

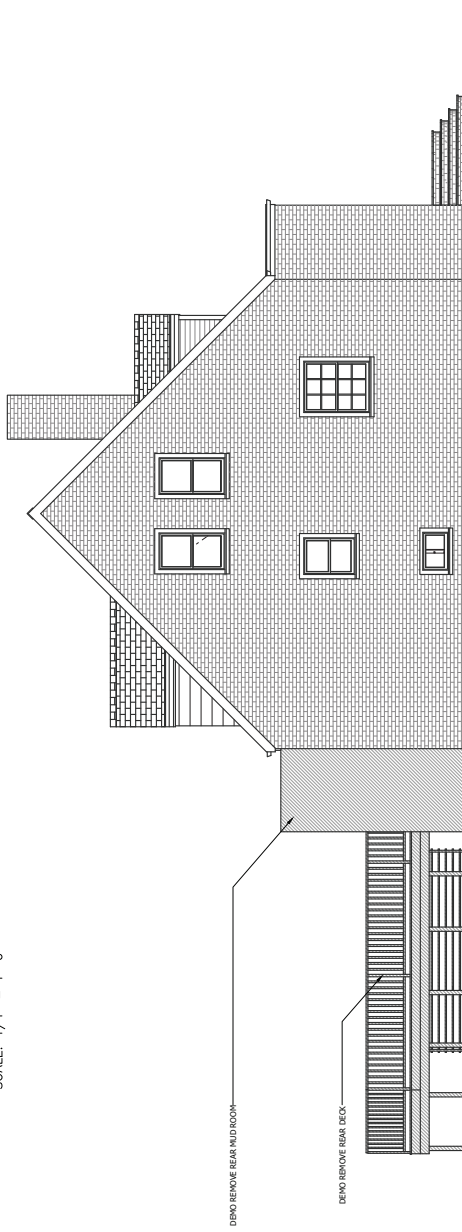


WALL KEY

-  EXISTING HOUSE
 NEW ADDITION
& WALLS



1) EXISTING DEMO FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2) EXISTING DEMO RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



COOK BROS.
DESIGN-BUILD REMODELING
10000 WILSON AVENUE
ARLINGTON, VIRGINIA 22207
(703) 536-0600
VA CLASS A LICENSE #95-007815

DESIGNER
IAN EVERETT

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**EDWARDS
ADDITION**
2411 RIDGE ROAD DR.
ALEXANDRIA, VA 22302

NO.	DESCRIPTION	DATE

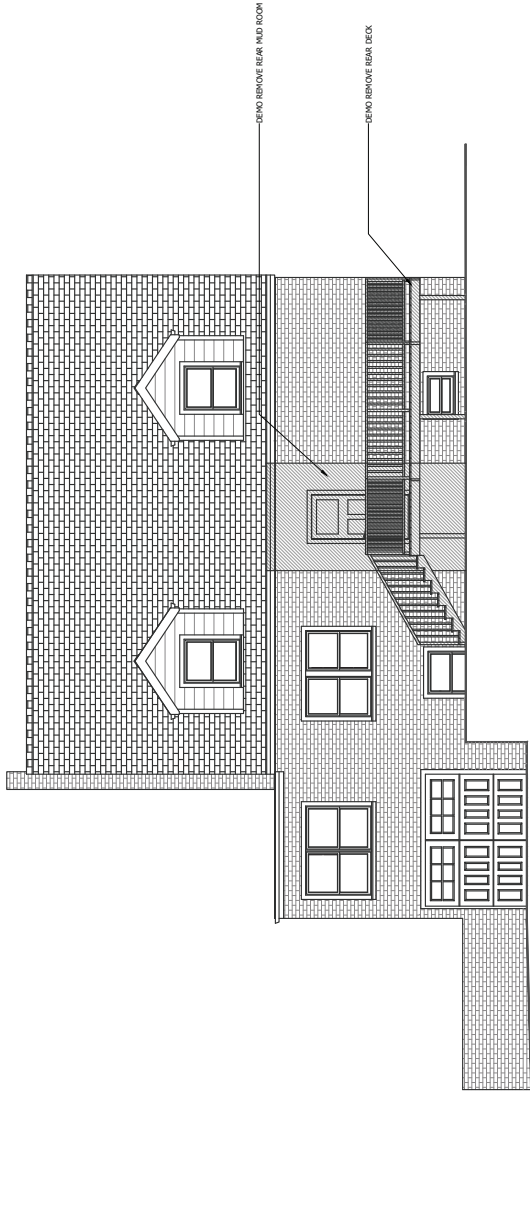
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DATE	07-06-2016
SCALE	INDICATED

DRAWING NO.

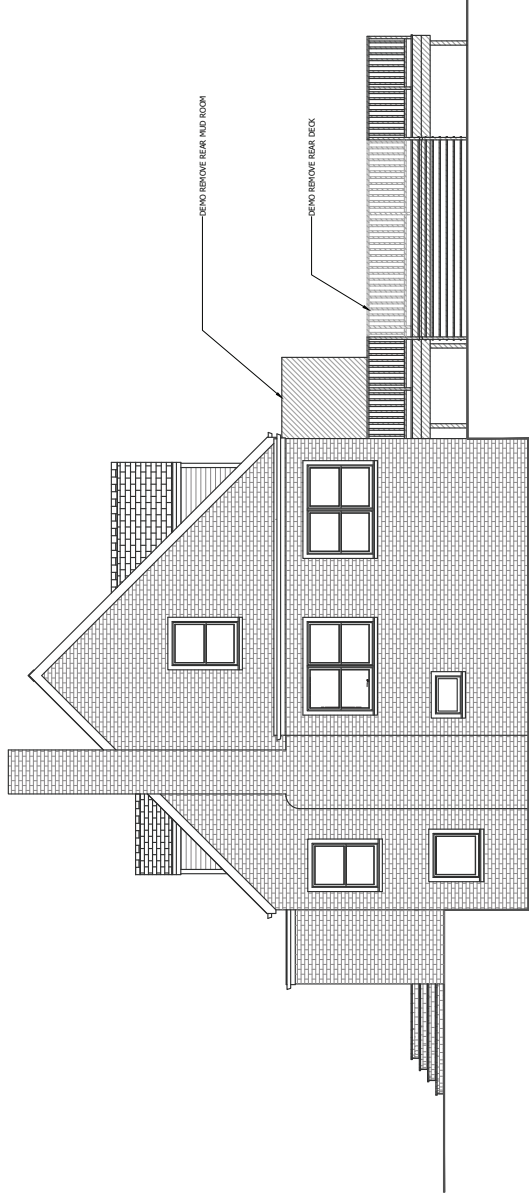
A102

WALL KEY

- EXISTING HOUSE
- NEW ADDITION & WALLS



1) EXISTING DEMO REAR ELEVATION
SCALE: 1/4" = 1'-0"



2) EXISTING DEMO LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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ARLINGTON, VIRGINIA 22207
(703) 536-0600
VA CLASS #1 LICENSE 1795-007815

DESIGNER
IAN EVERETT

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ADDITION**
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ALEXANDRIA, VA 22302

NO.	DESCRIPTION	DATE

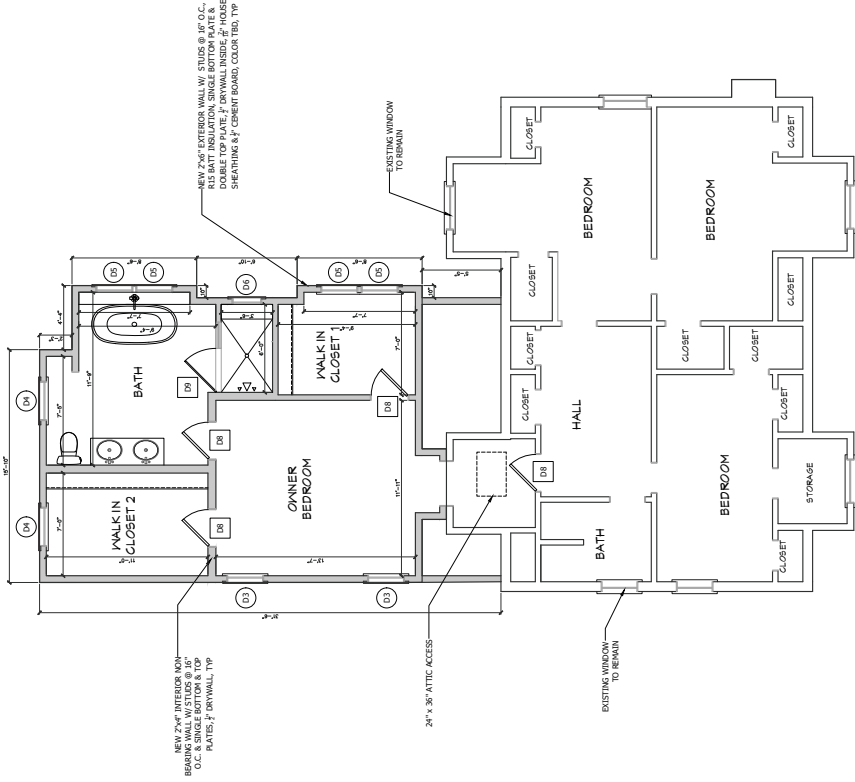
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DATE	07-06-2016
SCALE	INDICATED

DRAWING NO.

A103

WALL KEY

- EXISTING HOUSE
NEW ADDITION
& WALLS



1) PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"

Cook Bros.
DESIGN-BUILD REMODELING
Since 1987

COOK BROS.
DESIGN-BUILD REMODELING
1000 COMMONWEALTH BLVD
ARLINGTON, VIRGINIA 22207
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VA CLASS #1 LICENSE 1795-078115
DESIGNER
IAN VERNETT

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ALEXANDRIA, VA 22302

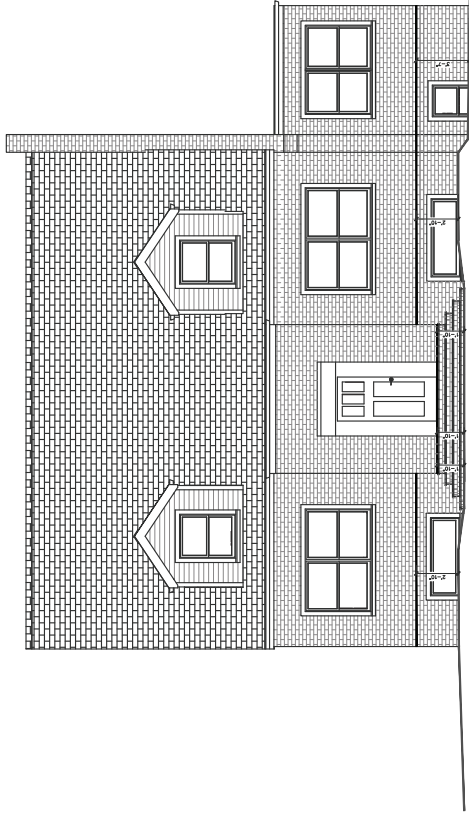
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PROJECT NUMBER	8742
DATE	07-06-2016
SCALE	INDICATED

DRAWING NO
A105

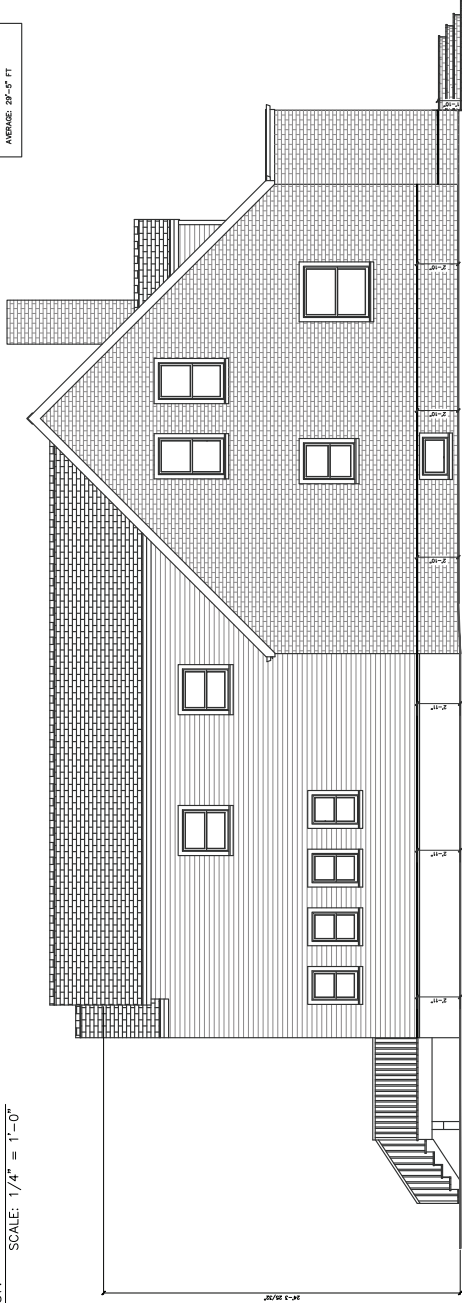
WALL KEY

- EXISTING HOUSE
NEW ADDITION
& WALLS



BUILDING
HEIGHT:
FRONT SIDE: 28'-0" FT
LEFT SIDE: 28'-0" FT
RIGHT SIDE: 28'-5" FT
REAR SIDE: 28'-5" FT
AVERAGE: 28'-5" FT

1) FRONT ELEVATION SCALE: 1/4" = 1'-0"



2) LEFT SIDE ELEVATION SCALE: 1/4" = 1'-0"



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10000 WOODBURN LANE
ARLINGTON, VIRGINIA 22207
(703) 536-0600
VA. CLASS "A" LICENSE #795-907815

DESIGNER
IAN EVERETT

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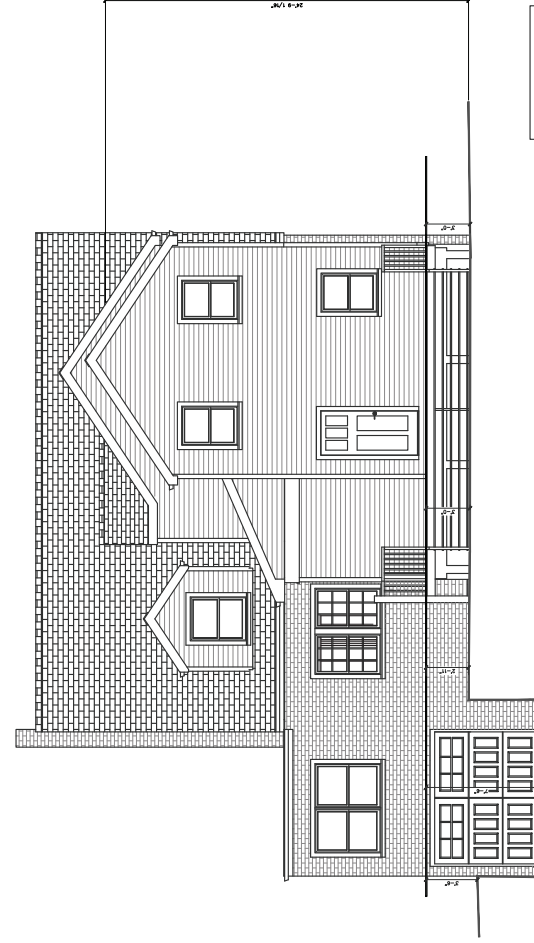
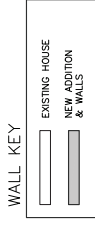
EDWARDS
ADDITION
2411 RIDGE ROAD DR.
ALEXANDRIA, VA 22302

NO.	DESCRIPTION	DATE

PROJECT NUMBER	8742
DATE	07-06-2016
SCALE	INDICATED

DRAWING NO

A106

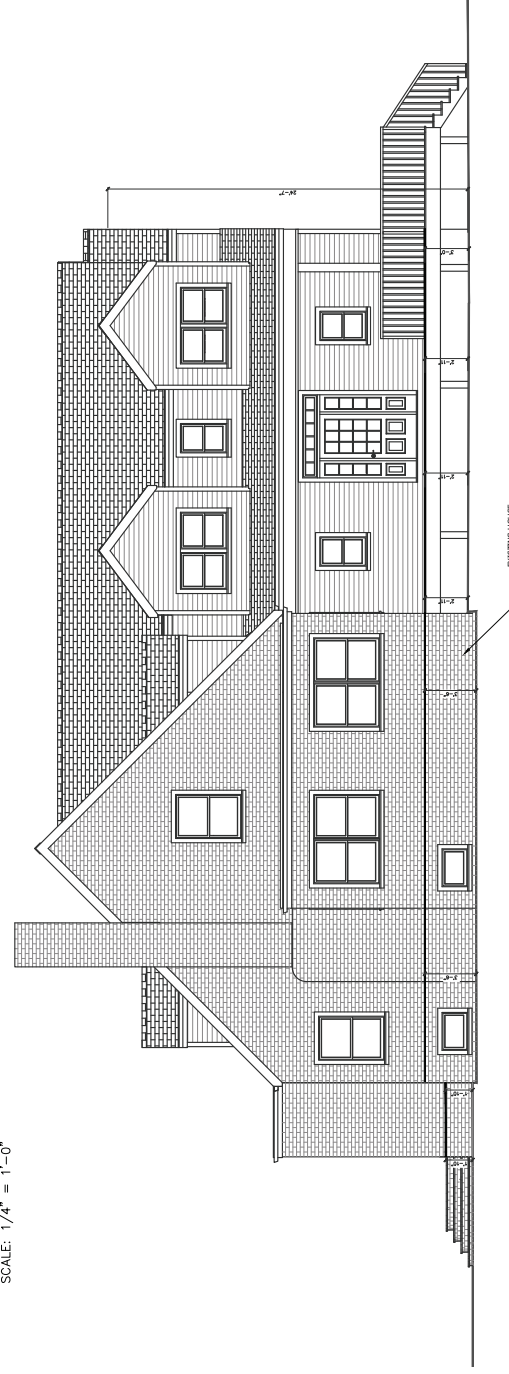


BUILDING
HEIGHT:

FRONT SIDE: OBSCURED
LEFT SIDE: 25'-6" FT
RIGHT SIDE: 28'-5" FT
REAR SIDE: 28'-5" FT
AVERAGE: 29'-5" FT

1) REAR ELEVATION

SCALE: 1/4" = 1'-0"



2) RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE

EDWARDS
ADDITION
2411 RIDGE ROAD DR.
ALEXANDRIA, VA 22302

PROJECT NUMBER	874
DATE	07-08-2020
SCALE	INDICATEE
DRAWING NO.	

A107

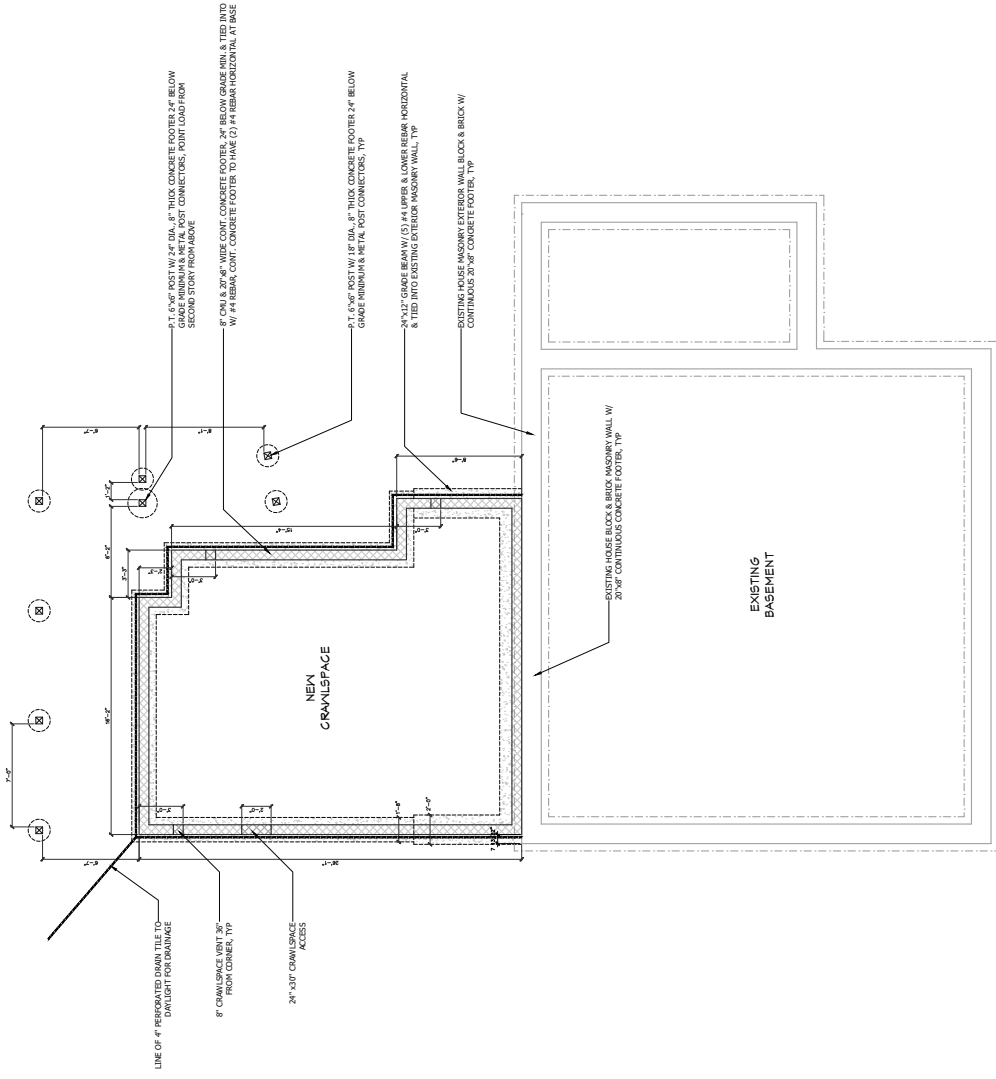
COOK BROS.
5521 LANGSTON BLVD.
ARLINGTON, VIRGINIA 22207
(703) 536-0900
VA. CLASS "A" LICENSE 2705-007815

DESIGNER
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WALL KEY

- EXISTING HOUSE
NEW ADDITION
& WALLS



1) PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"

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11111 LANTANA BLVD.
ARLINGTON, VIRGINIA 22207
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DESIGNER
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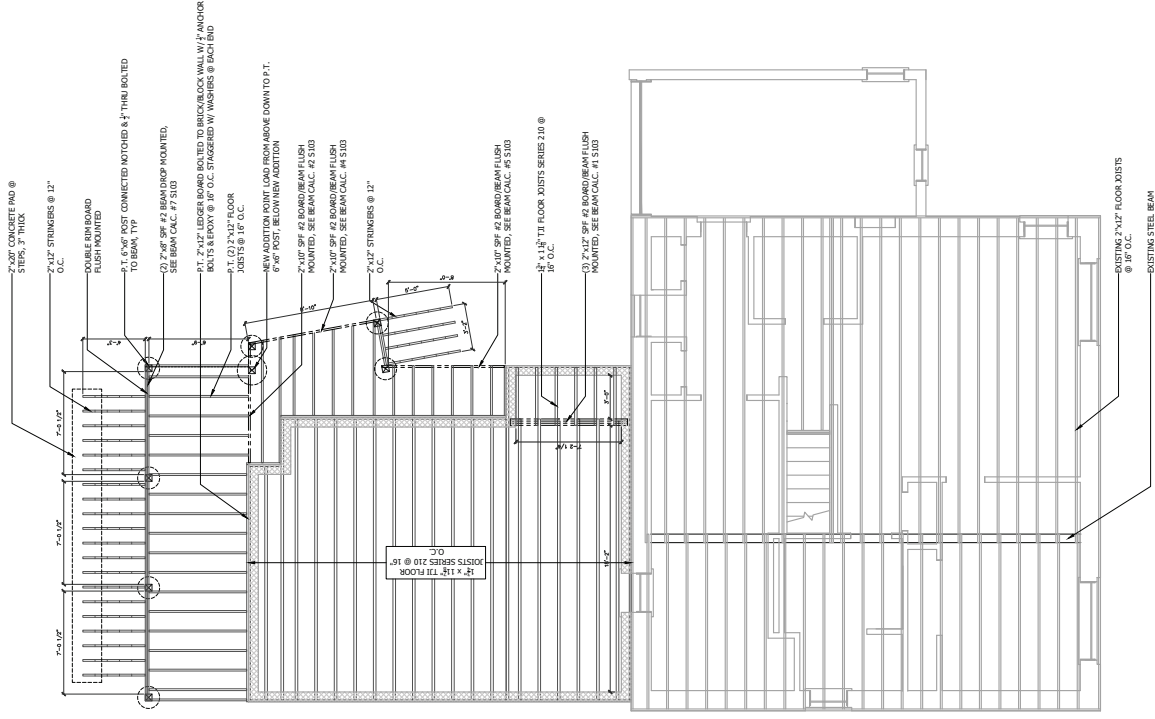
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PROJECT NUMBER	8742
DATE	07-06-2008
SCALE	INDICATED

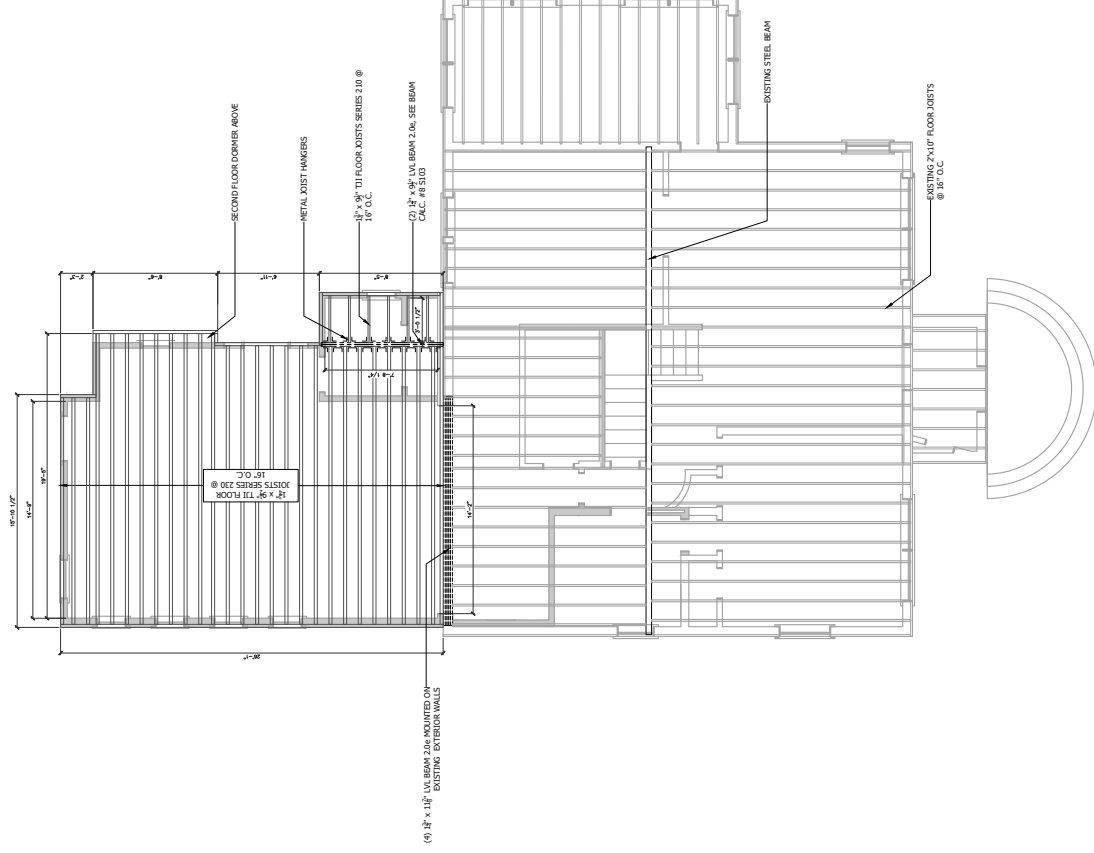
DRAWING NO
S002

WALL KEY

EXISTING HOUSE
NEW ADDITION
FLOORING JOISTS



1) PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



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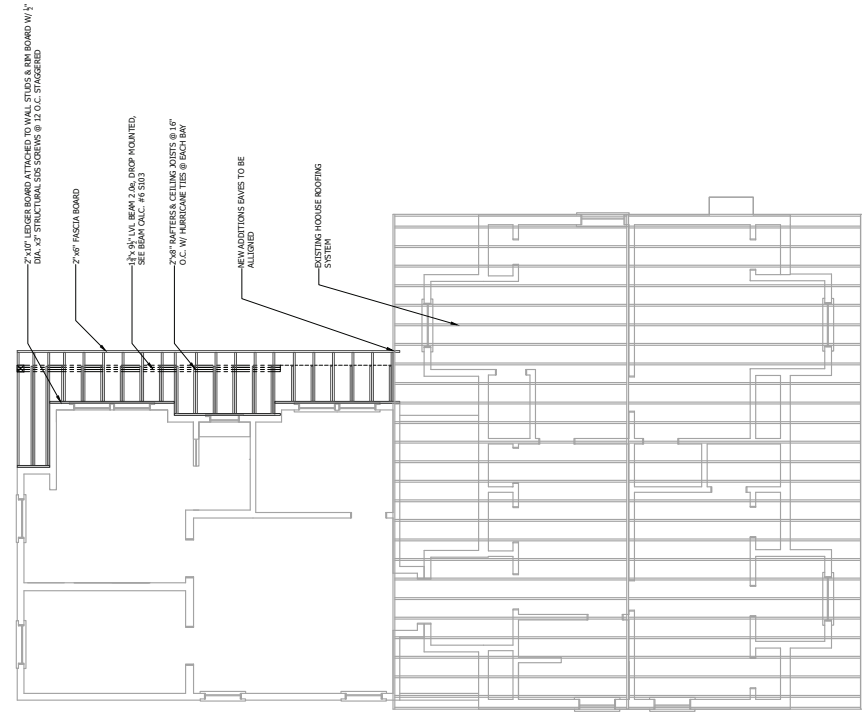
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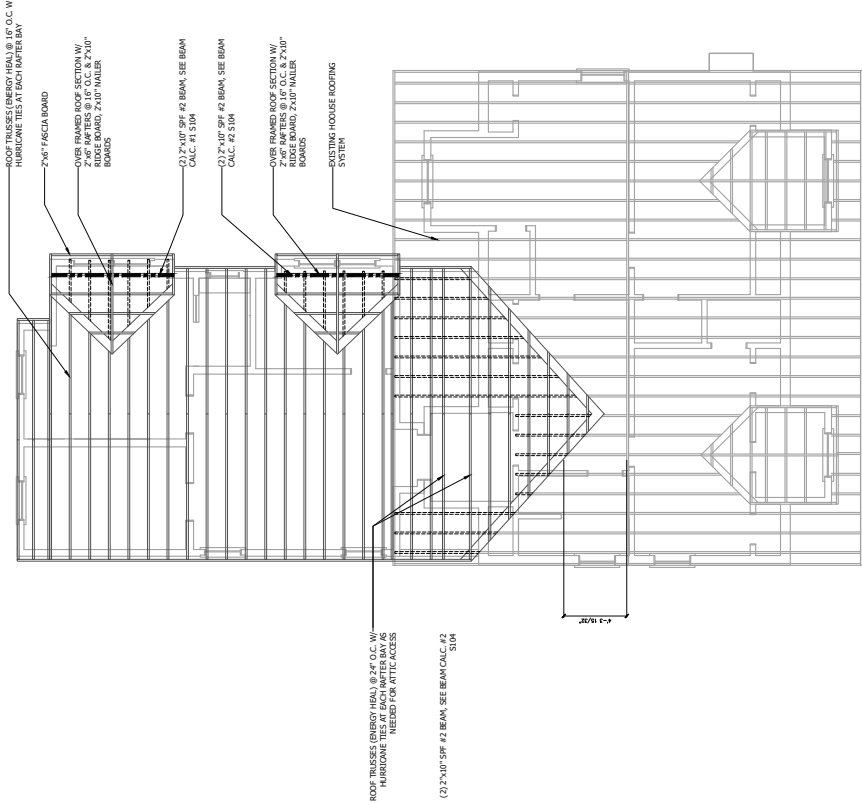
DRAWING NO
S101

WALL KEY

- EXISTING HOUSE
NEW ADDITION
ROOFING



1) PROPOSED PORCH ROOF PLAN
SCALE: 1/4" = 1'-0"



2) PROPOSED MAIN ROOF SYSTEM
SCALE: 1/4" = 1'-0"

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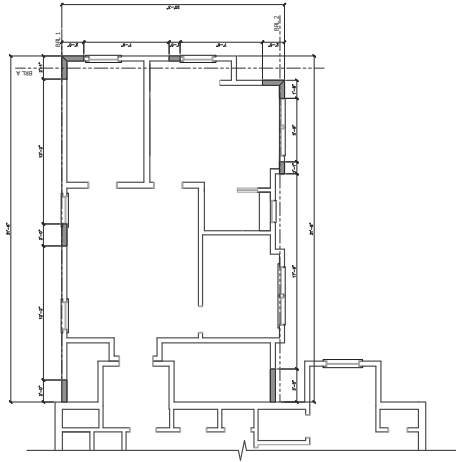
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DATE	07-06-2008
SCALE	INDICATED

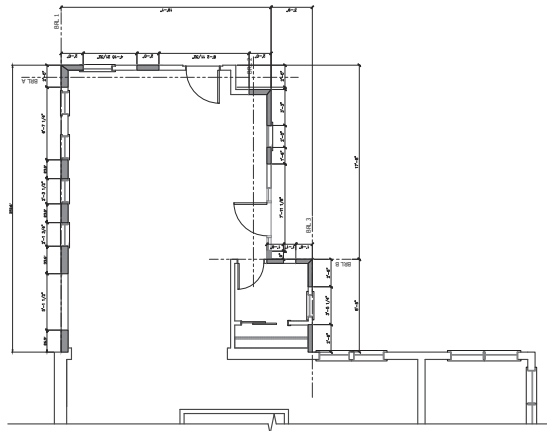
DRAWING NO
S102

[illegible]

S104
CONTINUING



1) LATERAL BRACING 1st FLOOR PLAN
SCALE: 3/16" = 1'-0"



2) LATERAL BRACING 2nd FLOOR PLAN
SCALE: 3/16" = 1'-0"

Classic Wall Bracing Worksheet
per 2018 Virginia Residential Code Section 602.10

WALL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
WALL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100

1.1) LATERAL BRACING 1st FLOOR PLAN
SCALE: 3/16" = 1'-0"

Classic Wall Bracing Worksheet
per 2018 Virginia Residential Code Section 602.10

WALL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
WALL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100

2.1) LATERAL BRACING 2nd FLOOR PLAN
SCALE: 3/16" = 1'-0"

LATERAL BRACING NOTES:

BRACING MEETS THE REQUIREMENTS OF 2021 IRC R602.10 FOR 90MPH BASIC WIND SPEED AND 115MPH ULTIMATE WIND SPEED AND APPROPRIATE ENGINEERING PRINCIPLES

3/4" OSB OR 1/2" PLYWOOD WOOD STRUCTURAL PANELS (CS-WSP) MUST BE APPLIED TO ALL EXTERIOR SHEATHABLE SURFACES INCLUDING GABLE END WALLS & ABOVE & BELOW ALL OPENINGS. THE SHEATHING IS TO BE FASTENED W/ 8d NAILS AT 6"oc @ EDGES & @ 12"oc AT ALL INTERMEDIATE SUPPORTS.

INTERIOR GYPSUM BOARD (GB) BRACED WALLS WHERE INDICATED TO BE FASTENED AT ALL EDGES W/ SCREWS OR NAILS @ 7"oc.

BRACED PANELS "WSP #\" or "CS-WSP #\" INDICATES THE WIDTH IN INCHES AND LOCATION OF PANELS TO MEET CODE. THE SHEATHING & NAIL PATTERN IS THE SAME HERE AS ACROSS THE ENTIRE HOME. HOWEVER THE TOP & BOTTOM AT THIS LOCATION MUST BE FASTENED PER THE WSP FASTENING DETAILS.

BRACED PANELS "GB #\" INDICATES THE WIDTH IN INCHES AND LOCATION OF GYPSUM BOARD PANELS TO MEET CODE. THE BOARD FASTENING, FASTENING AT THE TOP & BOTTOM & ADDITIONAL FLOOR & ROOF BLOCKING AT THIS LOCATION MUST BE PER THE GB FASTENING DETAILS.

EXTERIOR WALL CORNERS, INSIDE & OUTSIDE, MUST BE CONSTRUCTED PER TYPICAL DETAILS.

BWL - INDICATES BRACED WALL LINE

STRAPS, HANGERS, & ANCHORS INDICATED ARE TO BE SIMPSON STRONG-TIE OR EQUAL.

3) LATERAL BRACING NOTES & DETAIL
SCALE: NTS

COOK BROS.
RESIDENTIAL SPECIALISTS
Since 1957

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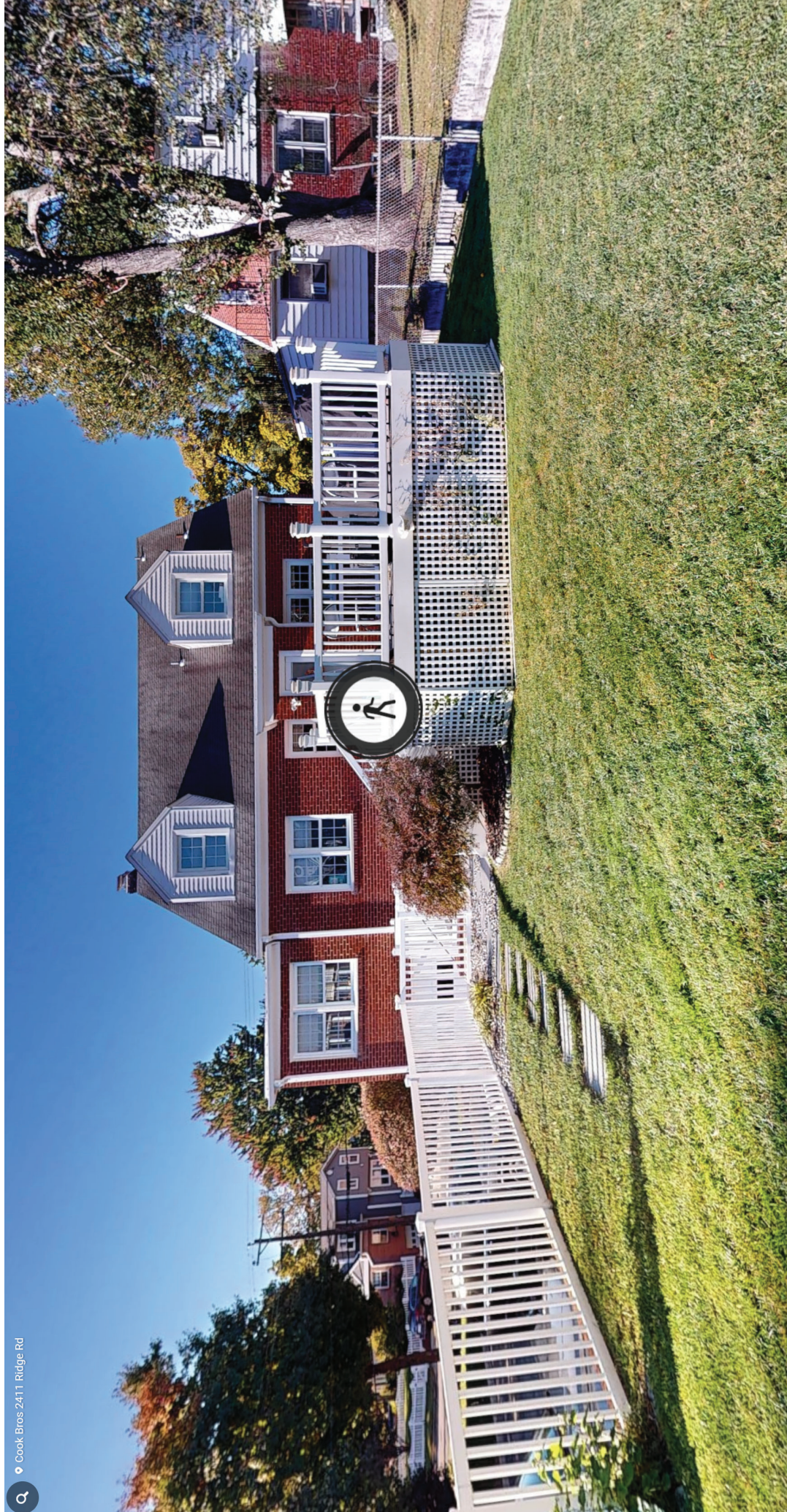
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📍 Cook Bros 2411 Ridge Rd

